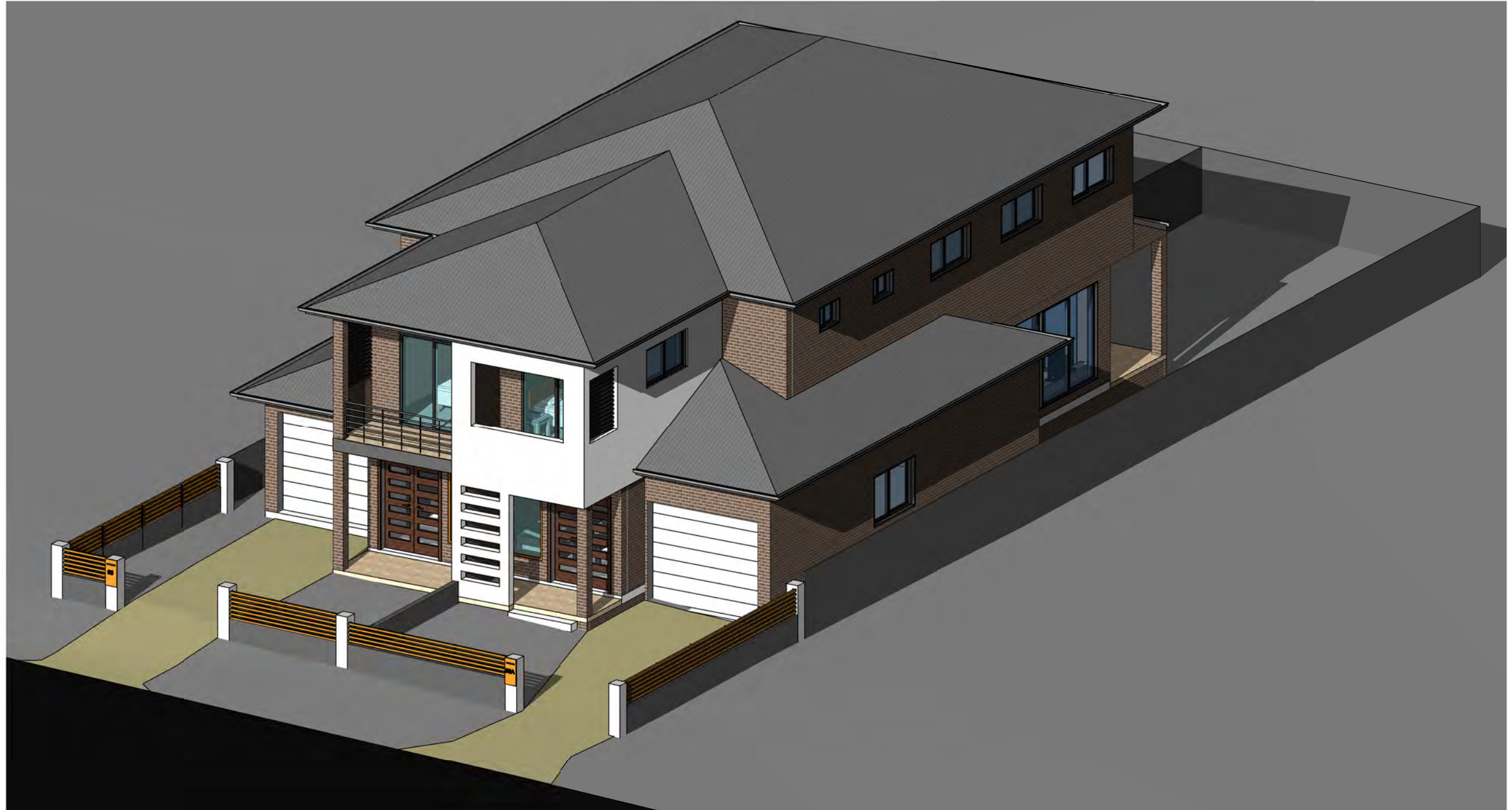
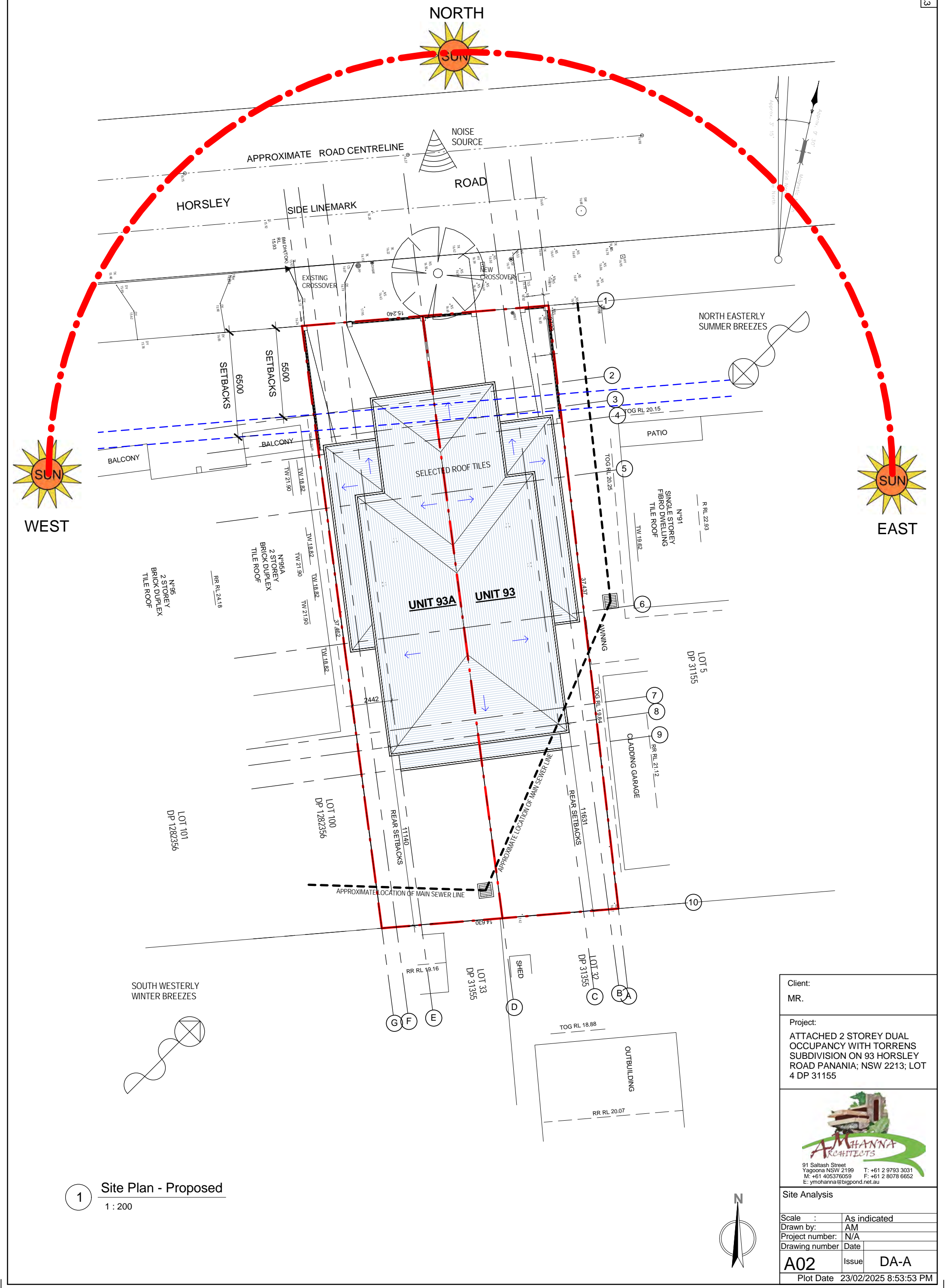



ATTACHED 2 STOREY DUAL OCCUPANCY WITH
TORRENS SUBDIVISION ON 93 HORSLEY ROAD
PANANIA; NSW 2213; LOT 4 DP 31155





1 Site Plan - Proposed
1 : 200

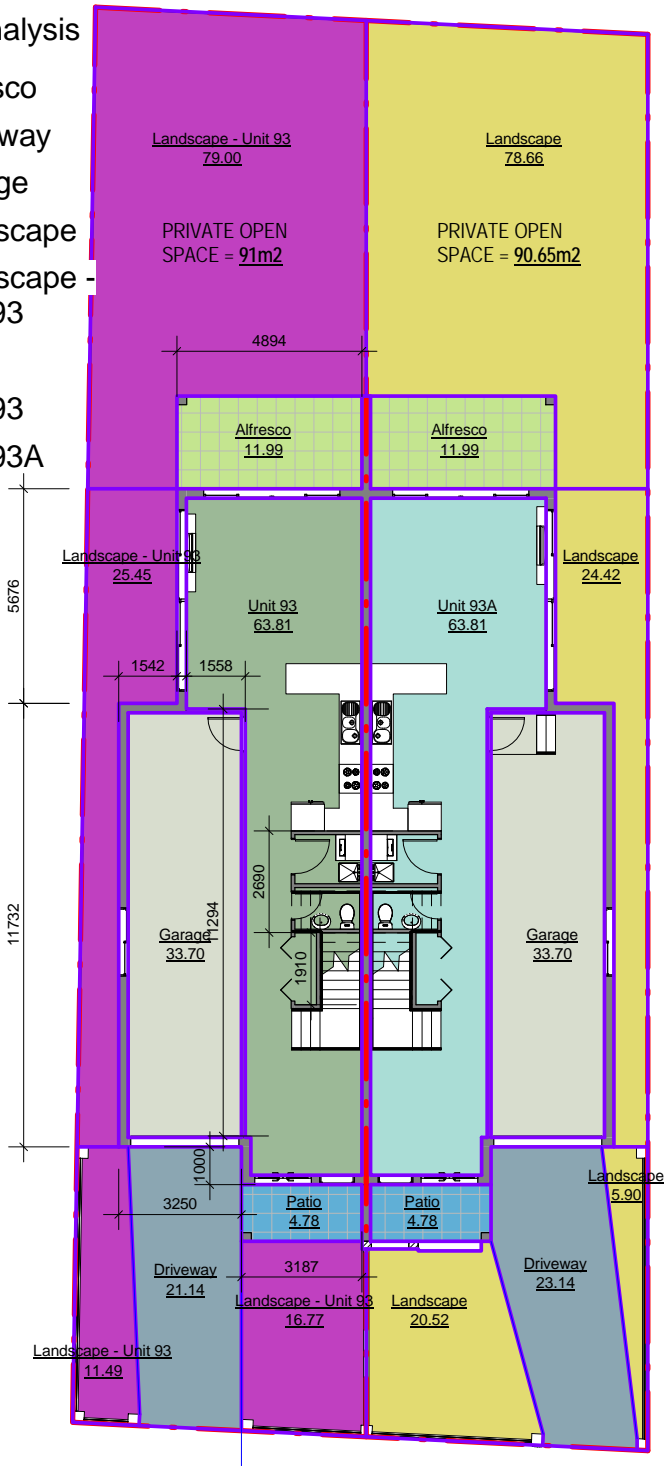
Client: MR.	
Project: ATTACHED 2 STOREY DUAL OCCUPANCY WITH TORRENS SUBDIVISION ON 93 HORSLEY ROAD PANANIA; NSW 2213; LOT 4 DP 31155	
 91 Saltash Street Yagoona NSW 2199 M: +61 406376059 E: ymohanna@bigpond.net.au	
Site Analysis	
Scale :	As indicated
Drawn by:	AM
Project number:	N/A
Drawing number	Date
A02	Issue
Plot Date	23/02/2025 8:53:53 PM

TOTAL LAND AREA= 558.8 SQM
50% = 279.40m2
Proposed: **279m2 = 50% FSR**

Area Analysis	
Name	Area
Alfresco	23.98
Balcony	9.27
Driveway	44.27
Landscape	129.50
Landscape - Unit 93	132.71
LOT 4A	279.69
LOT 4B	279.15
Patio	9.56
Roof - Unit 93	139.28
Roof - Unit 93A	139.28
Unit 93	139.52
Unit 93A	139.52
Grand total: 29	1465.72

Area Analysis

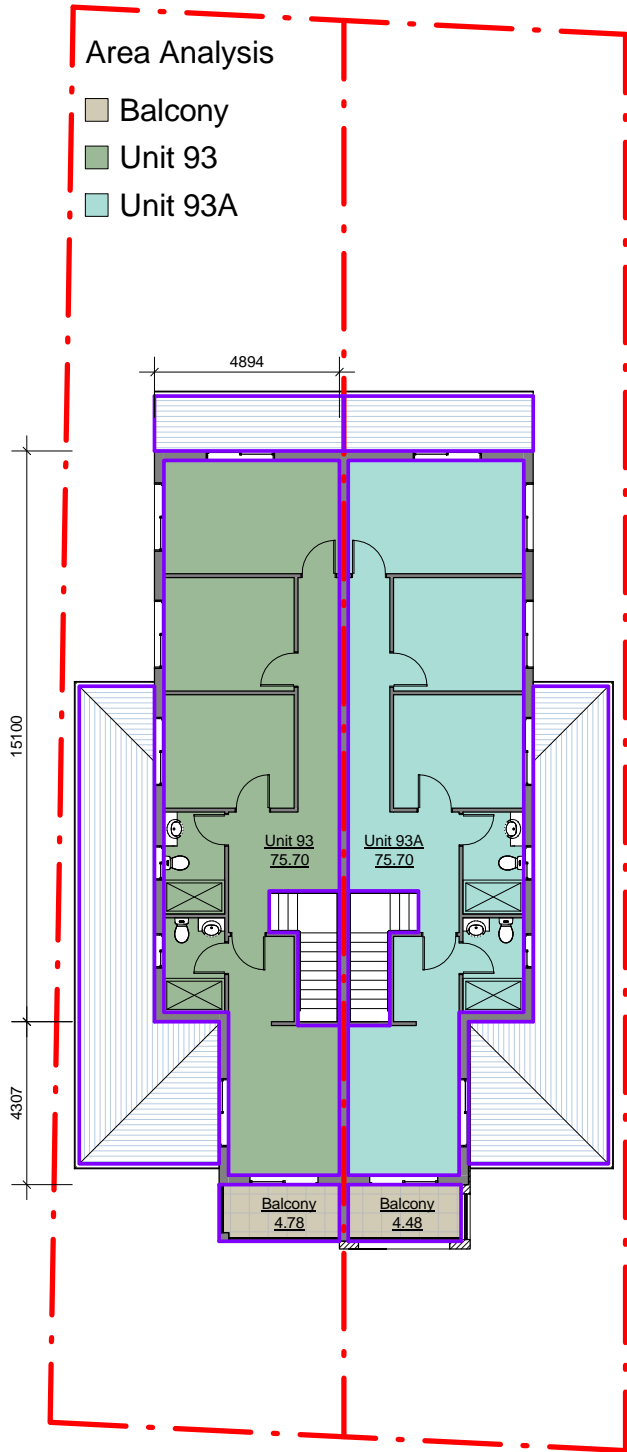
- Alfresco
- Driveway
- Garage
- Landscape
- Landscape - Unit 93
- Patio
- Unit 93
- Unit 93A



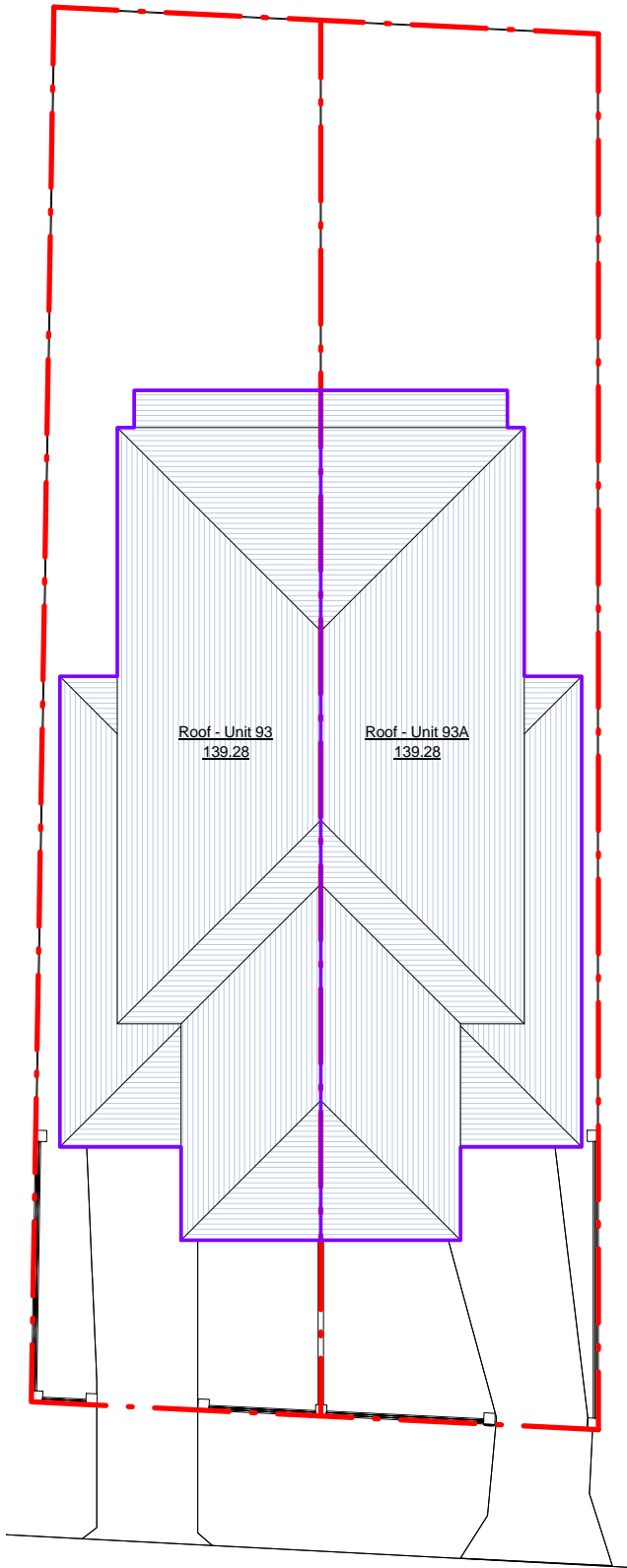
1 Ground Floor
1 : 200

Area Analysis

- Balcony
- Unit 93
- Unit 93A



2 Level 1
1 : 200



3 Roof Plan
1 : 200

BASIX COMMITMENTS - UNIT 93 & 93A

Unit 93

-R5.5 insulation to plasterboard ceiling

-R1.3 foil blanket and sisalation underneath metal roof

- Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation

-R2.5 insulation to cantilevered timber first floor

-foil+R2.7 insulation to all brick veneer external walls

-R2.7 insulation to all garage internal walls

-R1.5 insulation under the ground floor slab except the garage

-all windows and sliding doors shall be: Aluminium standard single-glazed: clear glass: U = 6.70 & SHGC = 0.70

-RWT: 1,000L to collect 45sqm of roof area and to be connected to toilets and landscape

-hot water system: 4star gas instantaneous or equivalent

Unit 93A

-R5.5 insulation to plasterboard ceiling

-R1.3 foil blanket and sisalation underneath metal roof

- Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation

-R2.5 insulation to cantilevered timber first floor

- foil+R2.7 insulation to all brick veneer external walls

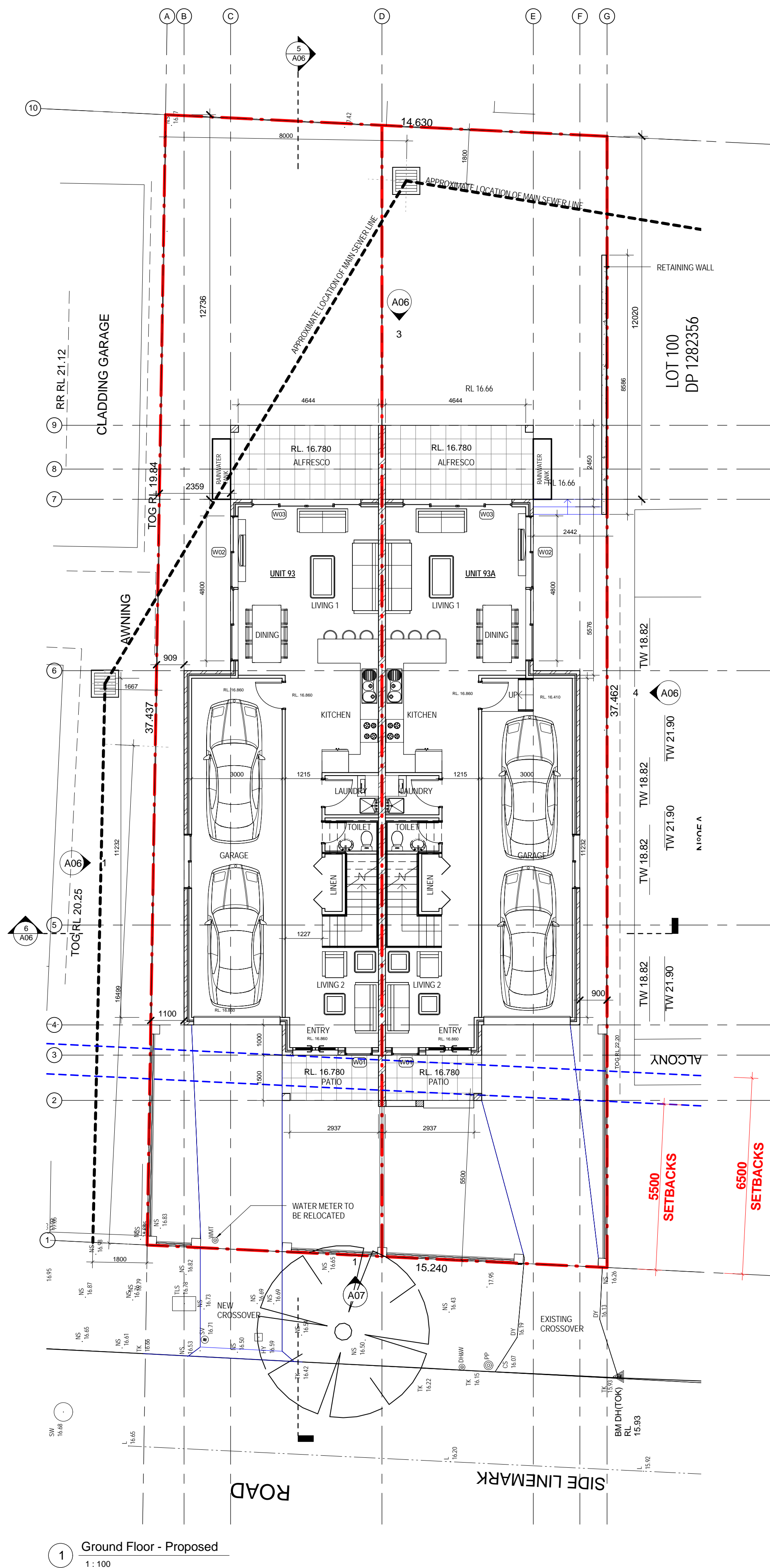
- R2.7 insulation to all garage internal walls

-R1.5 insulation under the ground floor slab except the garage

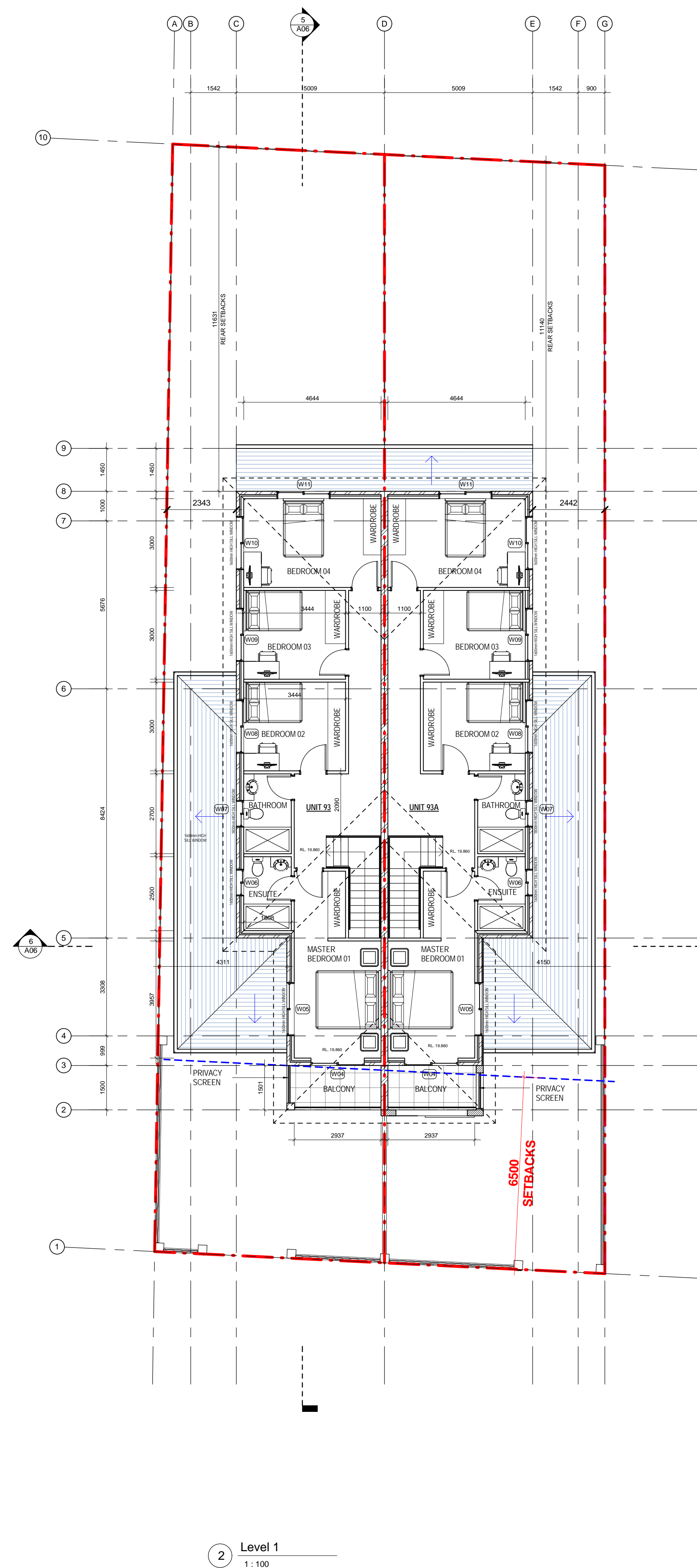
-all windows and sliding doors shall be: Aluminium standard single-glazed: low-e glass: U = 5.40 & SHGC = 0.58

-RWT: 1,000L to collect 45sqm of roof area and to be connected to toilets and landscape

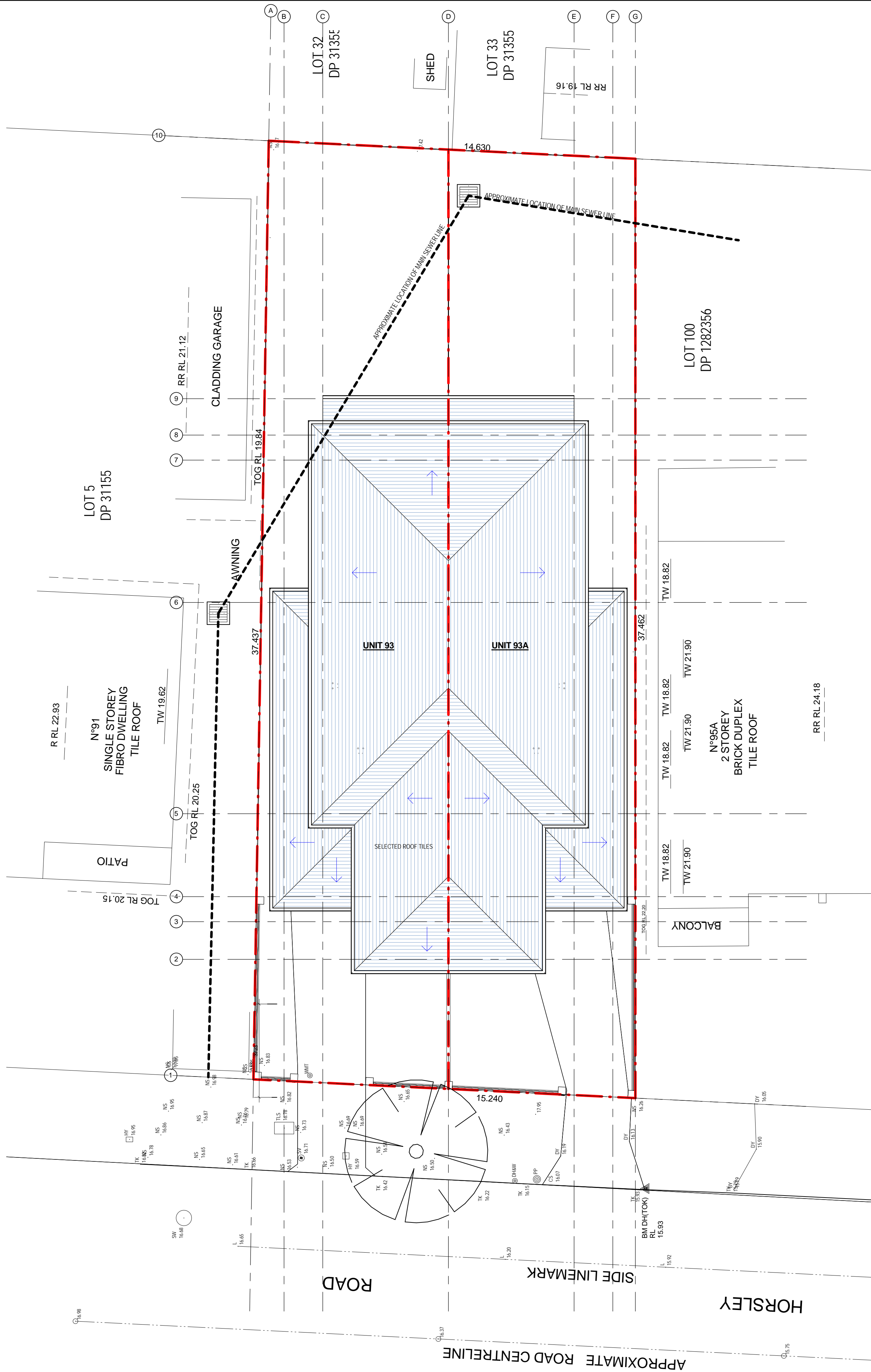
-hot water system: 4star gas instantaneous or equivalent



1 Ground Floor - Proposed
1 : 100



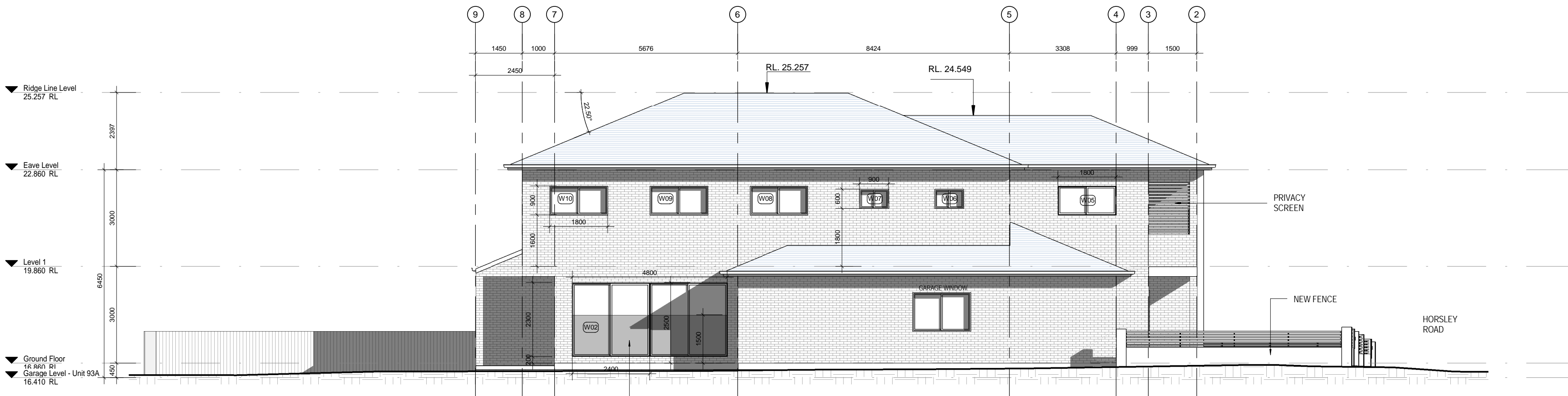
2 Level
1 : 100



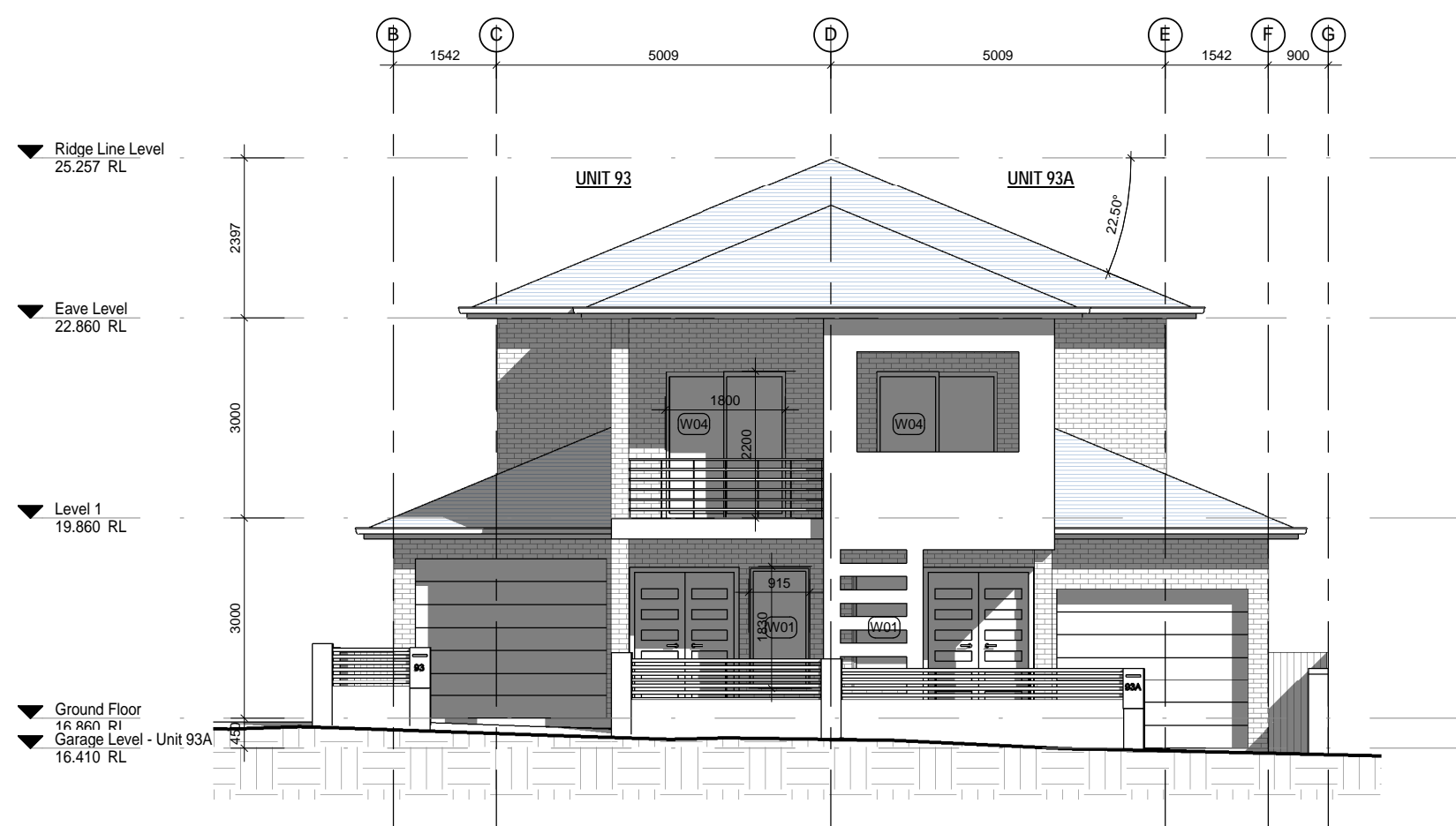
1 Roof Plan
1 : 100

ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE

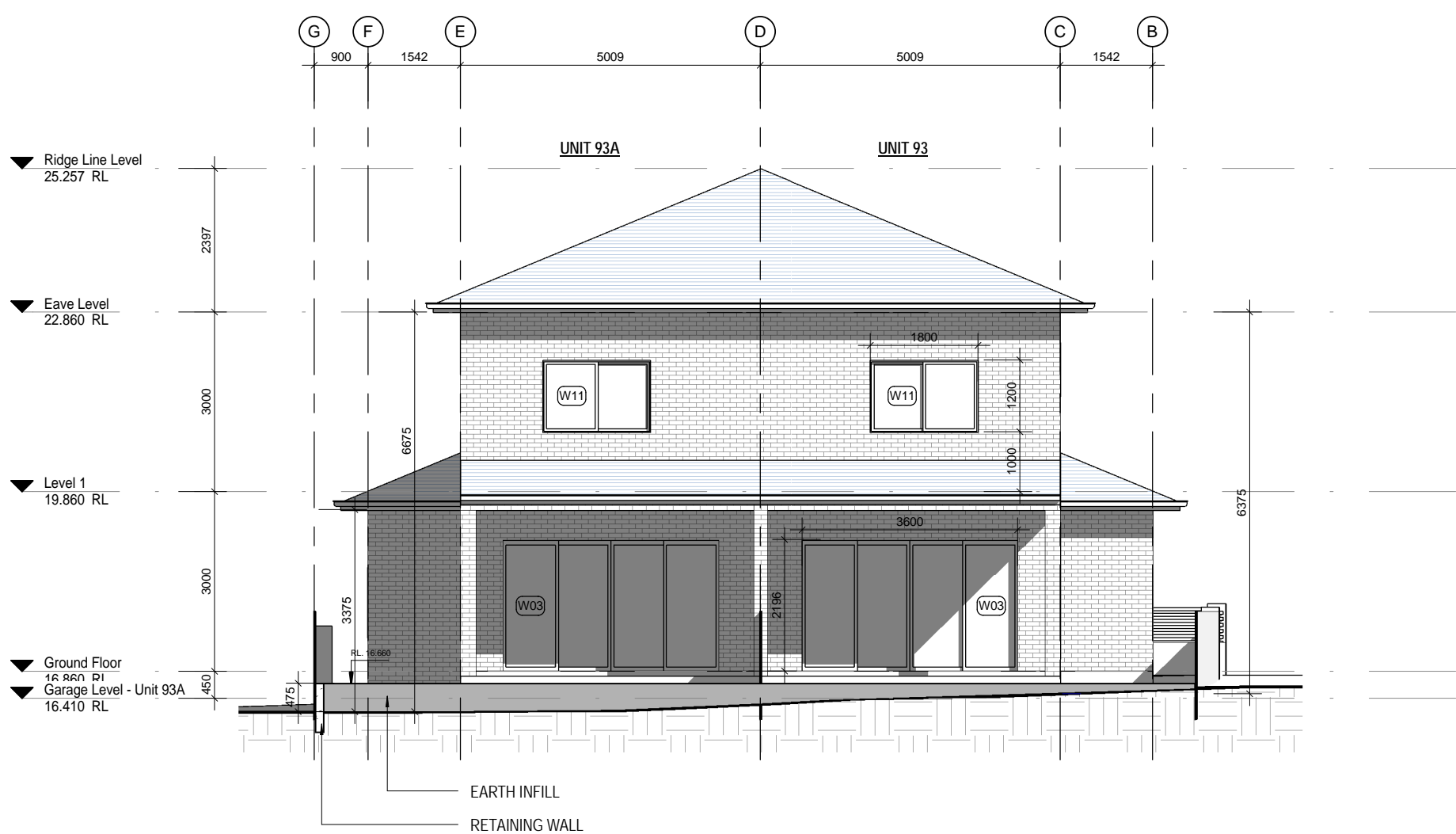




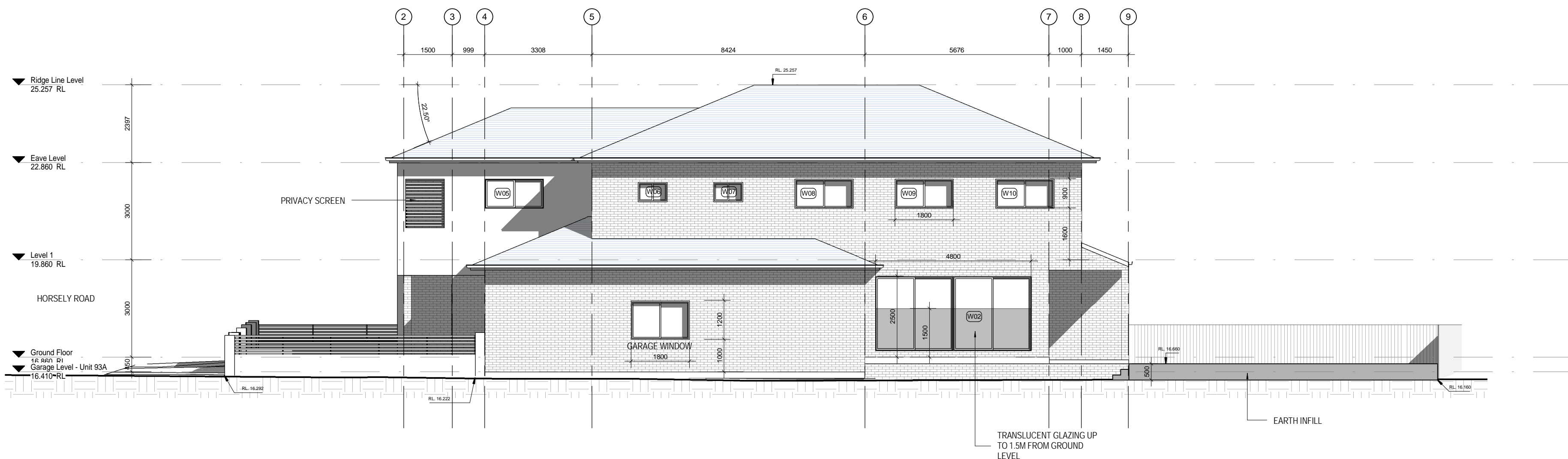
1 East Elevation
1 : 100



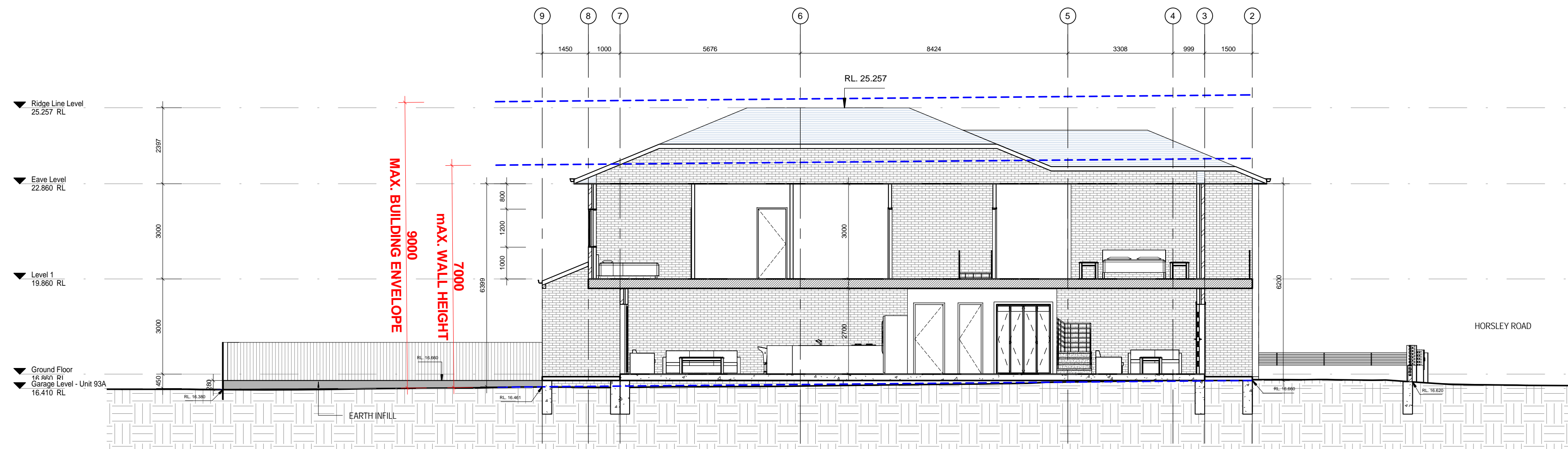
2 North Elevation
1 : 100



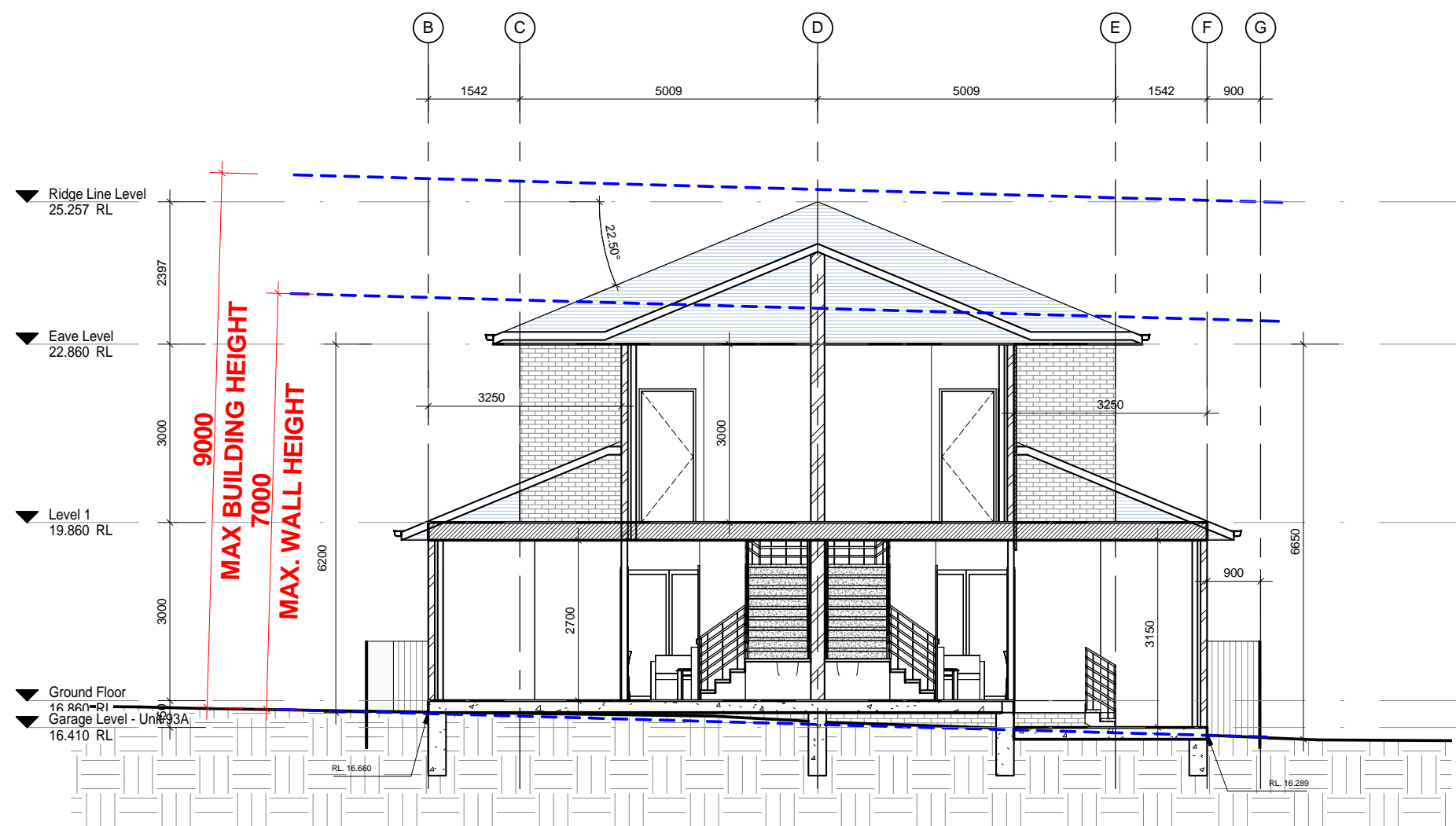
3 South Elevation
1 : 100



4 West Elevation
1 : 100

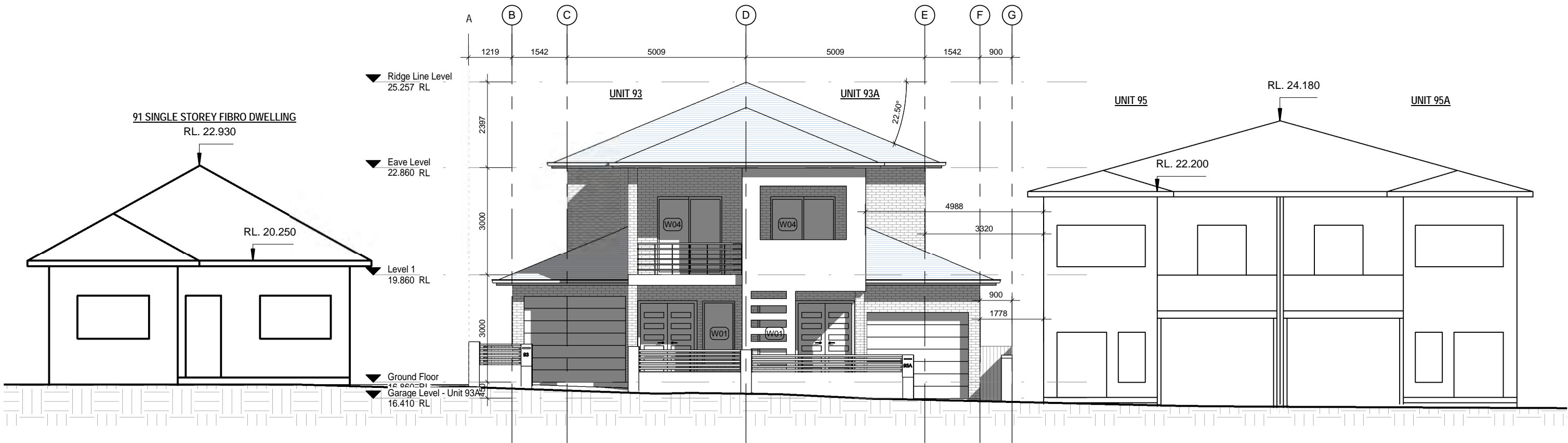


5 Section AA
1 : 100



6 Section BB
1 : 100

ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE



1

Streetscape - North Elevation

1 : 110



91 Saltash Street
Yagoona NSW 2199 T: +61 2 97933031
M: +61 405376059 F: +61 2 8078 6652
E: ymohanna@bigpond.net.au

Client:
MR.

Project:
ATTACHED 2 STOREY DUAL
OCCUPANCY WITH TORRENS
SUBDIVISION ON 93 HORSLEY ROAD
PANANIA; NSW 2213; LOT 4 DP 31155

ISSUE

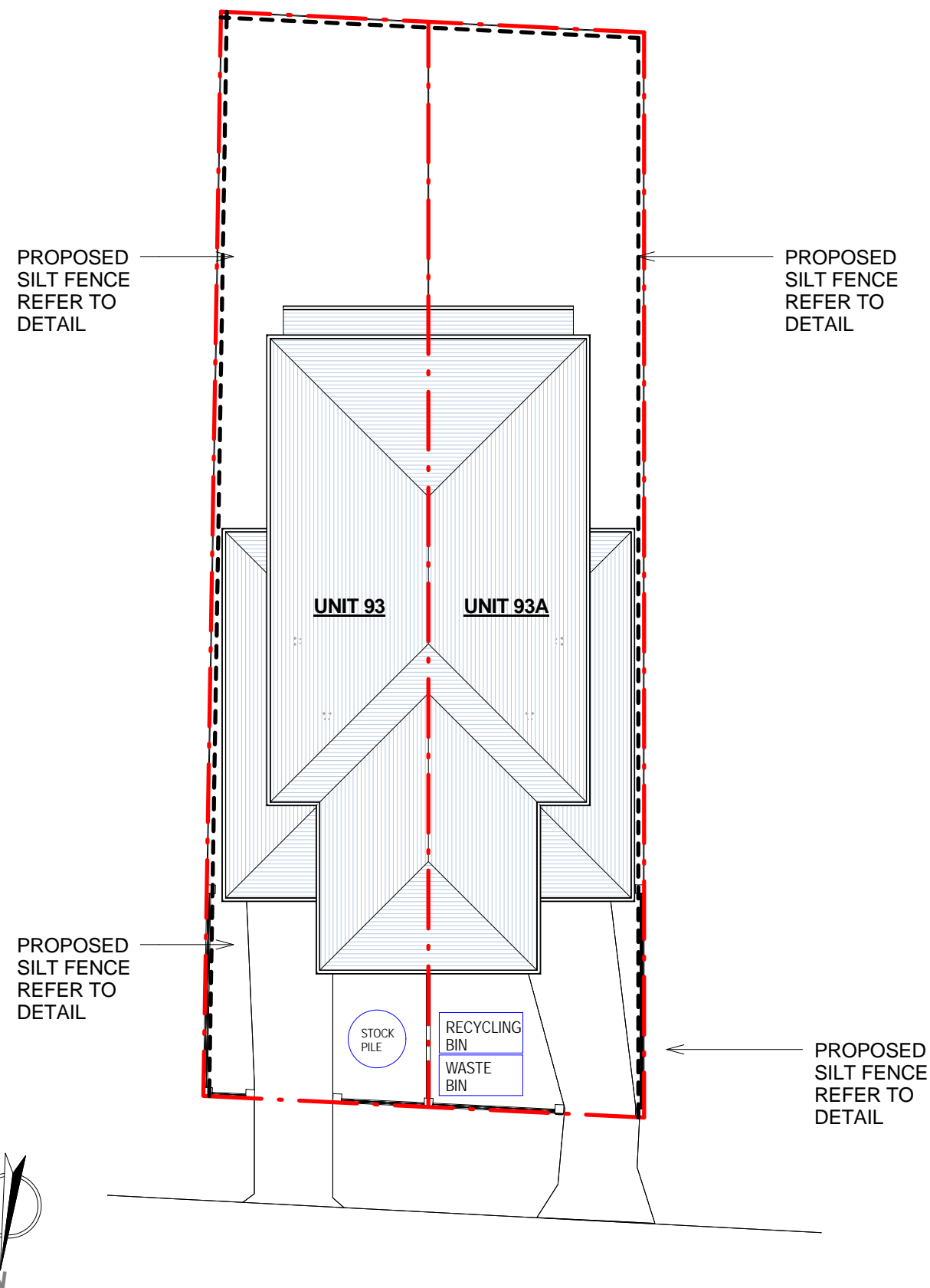
AMENDMENT

THIS DRAWING IS FOR DESIGN GUIDANCE ONLY. FINAL
DETAILS MUST MEET SITE CONDITIONS, RELEVANT
AUTHORITIES AND APPLICABLE BUILDING STANDARDS.

* Use written dimensions only. Do not scale from drawing.
* Contractors shall confirm all dimensions on-site prior
to commencing any work or making any shop drawings.
* All materials to be used in accordance with the manufacturer's
specifications and instructions, and shall comply with
relevant Australian Standards.
* Copyright of this drawing and design remain the
property of MHANNA DESIGN

Streetscape Analysis

Scale :	1 : 110
Drawn by:	AM
Project number:	N/A
Drawing number	Date
A07	Issue DA-A
Plot Date 23/02/2025 8:56:55 PM	

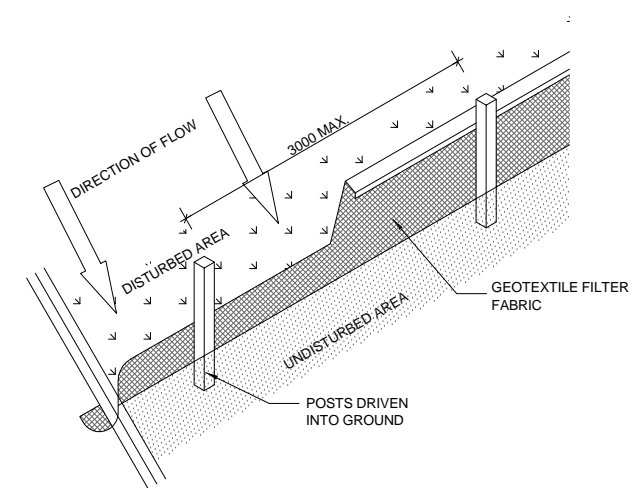
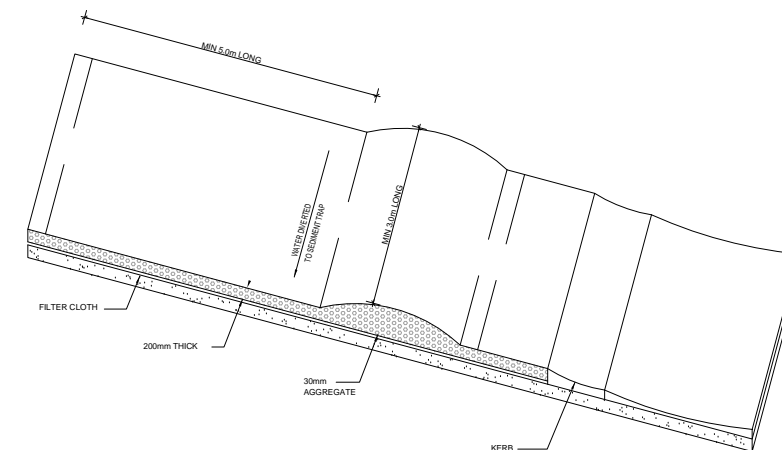


SEDIMENT CONTROL NOTES:

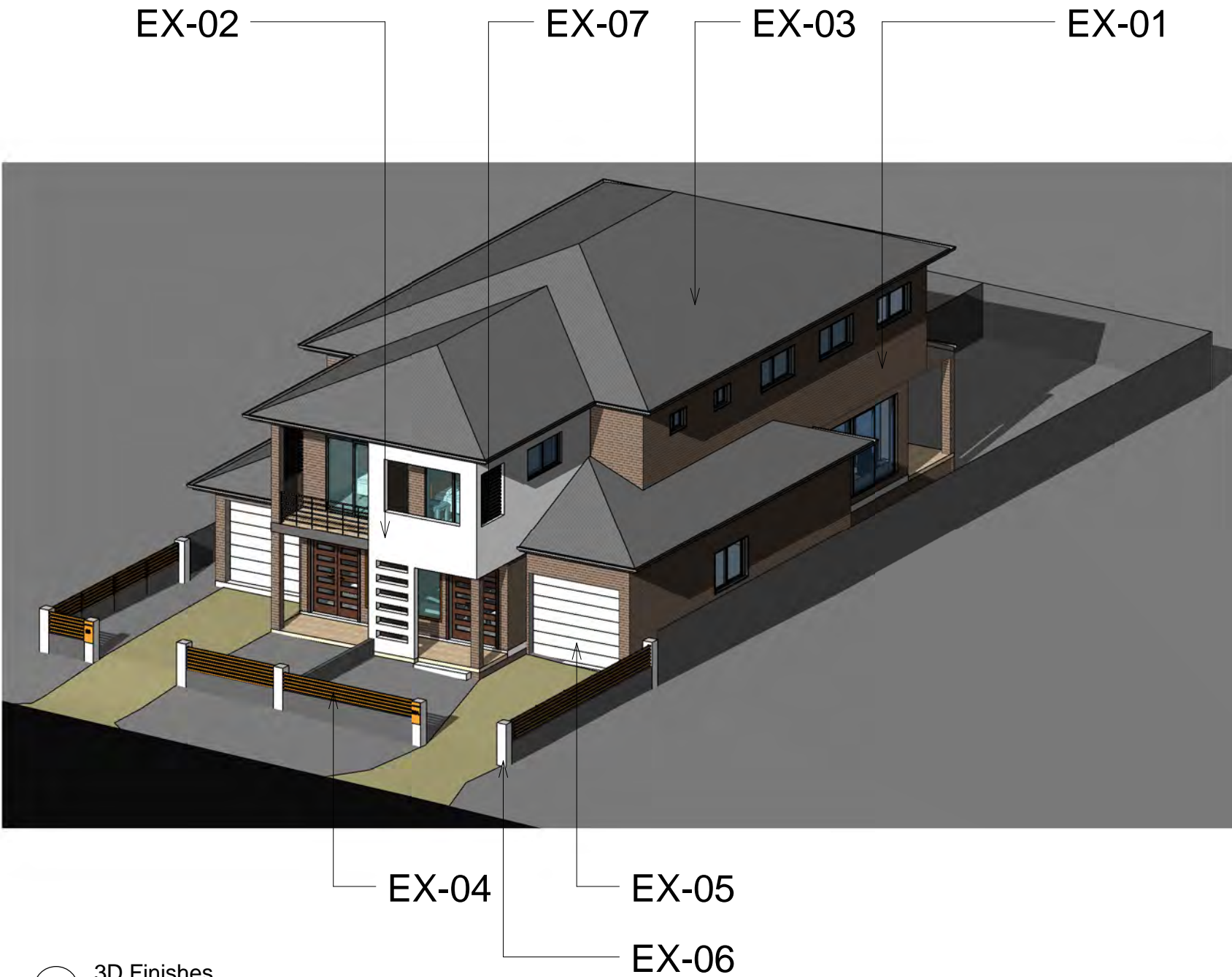
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF N.S.W.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT STRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MINIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATED.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRICS (PROPEX OR APPROVED EQUIVALENT BETWEEN POSTS AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150 mm ALONG LOWER EDGE.

EROSION CONTROL NOTES:

1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECTURAL OR LANDSCAPE DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDING, PAVEMENTS ETC.
3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, TO COUNCIL'S STANDARDS.
4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.



FINISHES SCHEDULE



1 3D Finishes



Boulder from Boral



LIGHT GREY FROM DULUX

EX-01

EX-02



trimdek_astro from Colorbond

EX-03



DARK GREY FROM DULUX

EX-04



CEDAR LOOK SECTIONAL GARAGE DOOR

EX-05



CCS®
Ghost Gum

EX-06



Bayside Privacy Screens Louvre
Blade Balcony Screen

EX-07

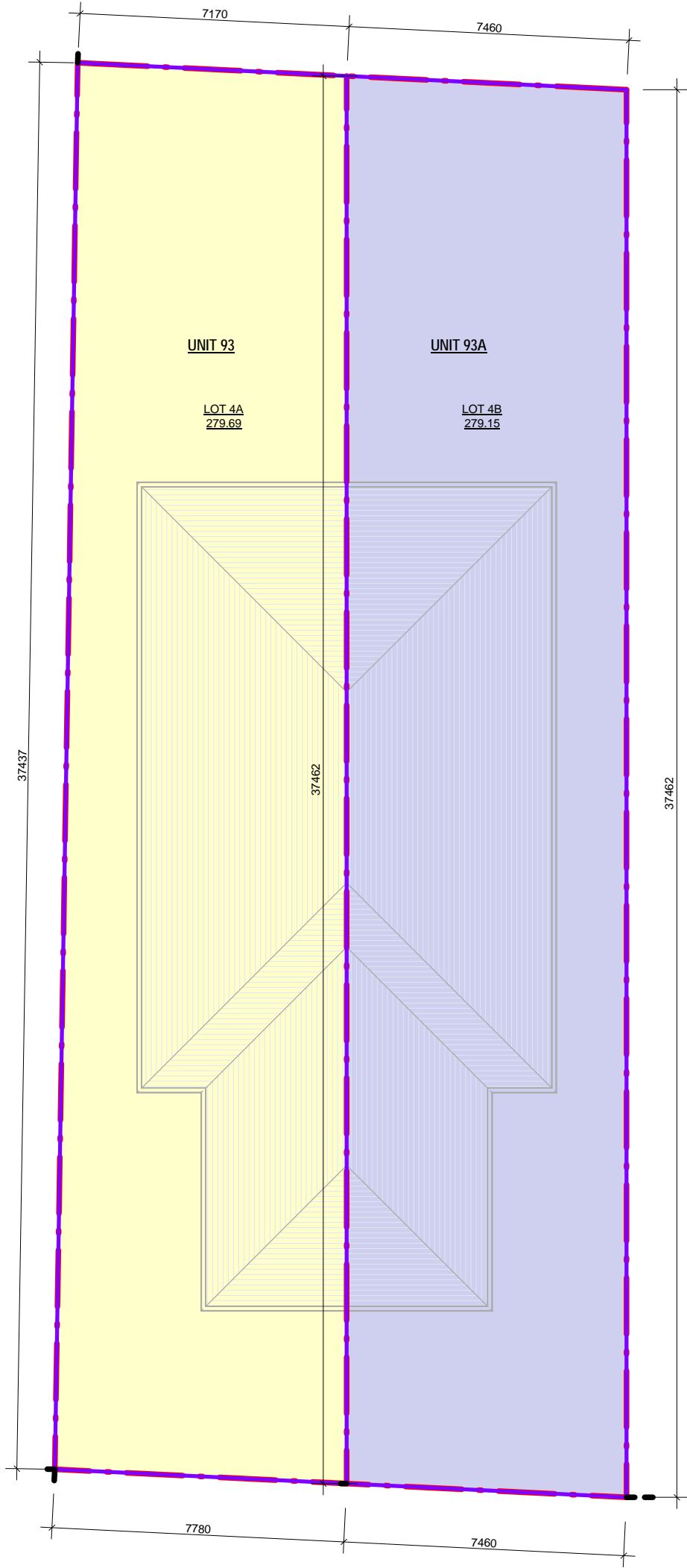
Client:
MR.

Project:
ATTACHED 2 STOREY DUAL
OCCUPANCY WITH TORRENS
SUBDIVISION ON 93 HORSLEY
ROAD PANANIA; NSW 2213; LOT
4 DP 31155



91 Saltash Street
Yagoona NSW 2199 T: +61 2 9793 3031
M: +61 405376059 F: +61 2 8078 6652
E: ymohanna@bigpond.net.au

Subdivision Plan		
Scale	:	As indicated
Drawn by:	AM	
Project number:	N/A	
Drawing number	Date	
A10	Issue	DA - A
	Plot Date 23/02/2025 8:57:52 PM	



Area Analysis

- LOT 4A
- LOT 4B

1 Subdivision Plan
1 : 150



SUBDIVISION DATA

CURRENT LOT DECSRIPTION:

- STREET ADDRESS: 93 HORSELY ROAD;
PANANIA; NSW 2213
- LOT: 4
- SEC: N/A
- DP: 31155
- AREA: **558.80 SQM**
- TITLE: TORRENS

PROPOSED LOT DESCRIPTION:

- LOT 4A = 279.69 SQM
- LOT 4B = 279.15 SQM

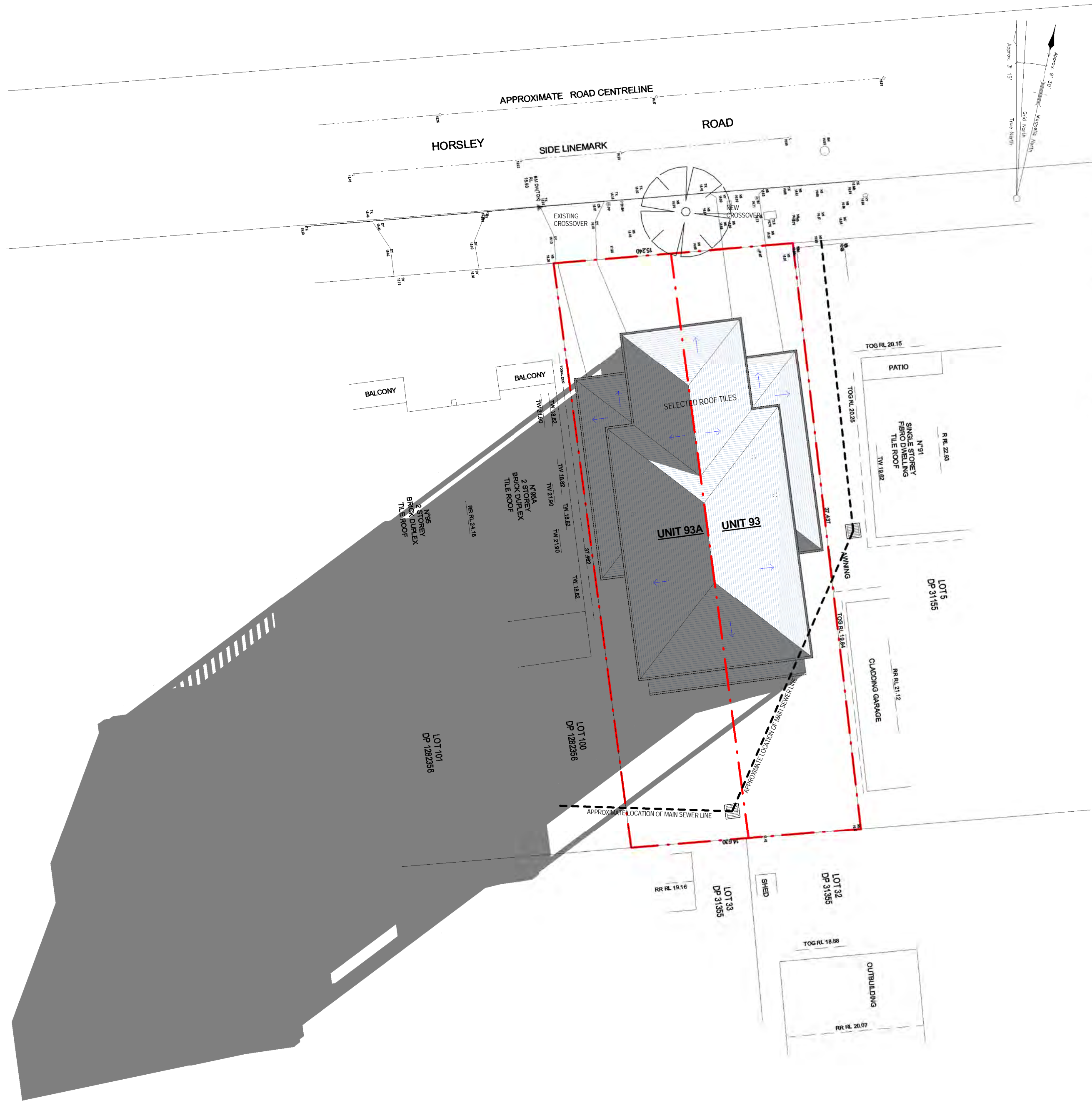
TITLE: TORRENS

TOTAL LAND AREA= 558.8 SQM

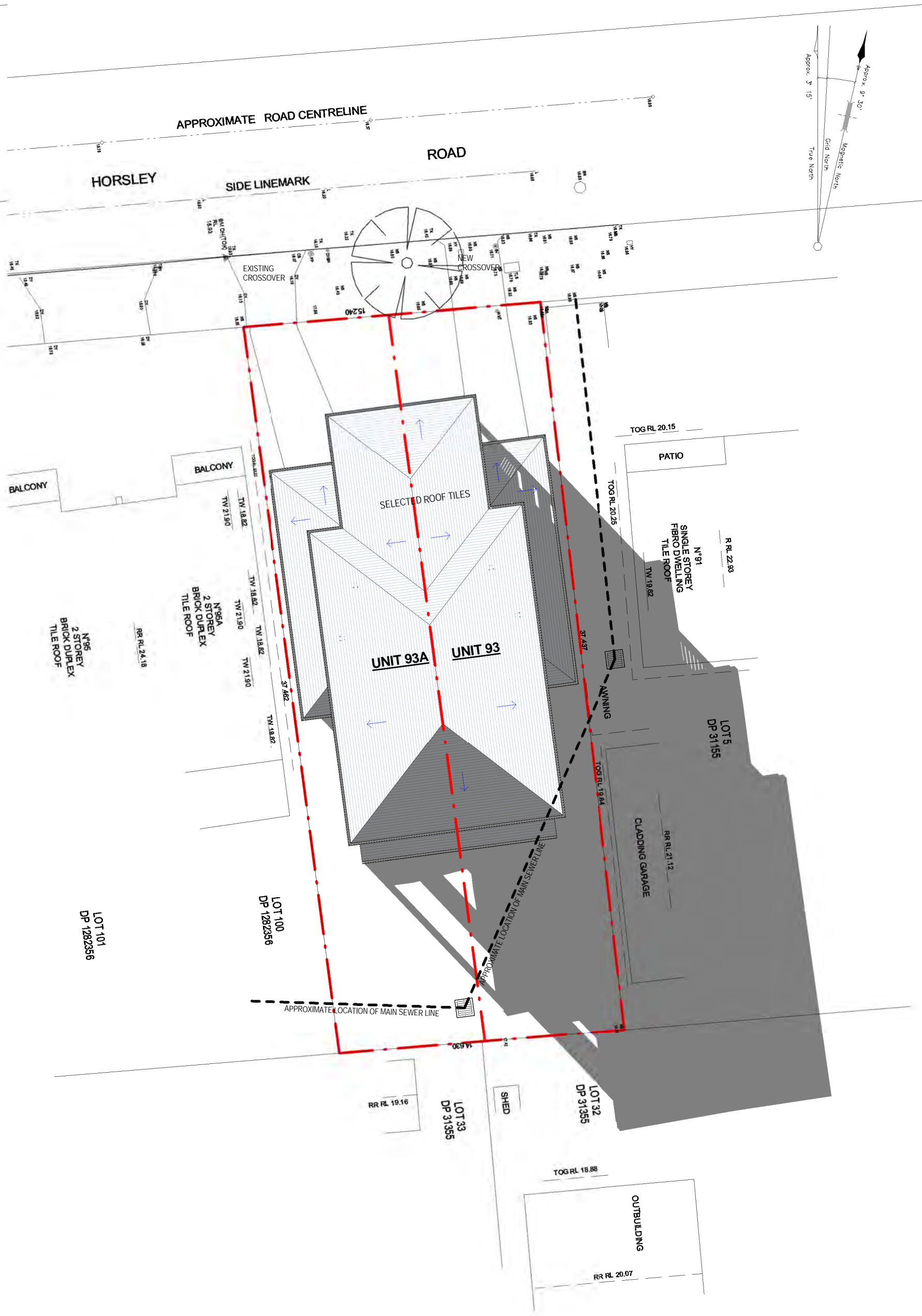
50% = 279.40m2

Proposed: **279m2 = 50% FSR**

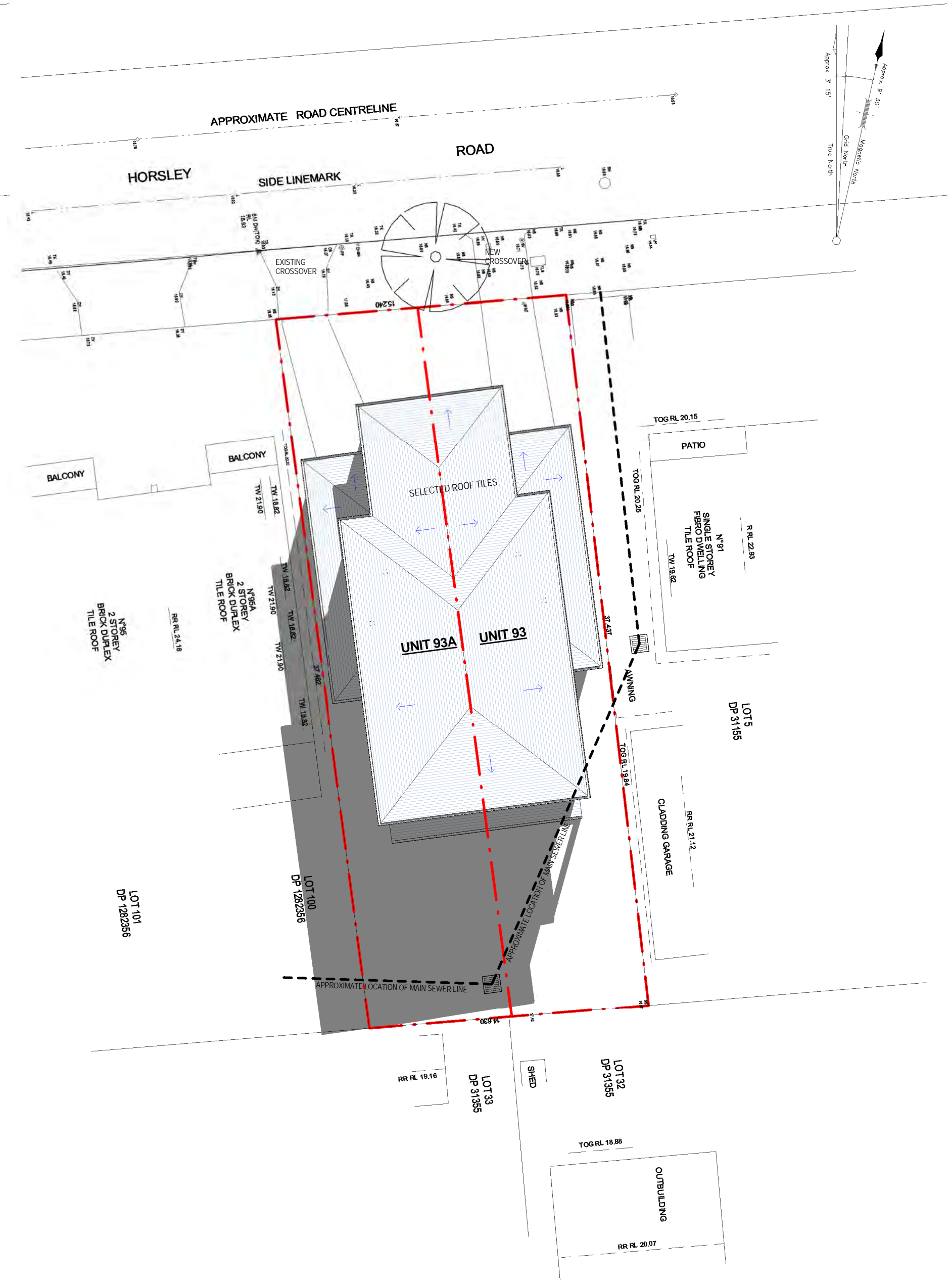
NOTE:
ALL DIMENSIONS & LAND AREAS DEPICTED IN THIS SUBDIVISION PLAN
TO BE CHECKED & VARIFIED BY REGISTERED SURVEYOR WITH
LODGEMENT OF LINEN PLAN TO LAND TITLES OFFICE.



1 Shadow - 8am - 21 June
1:200

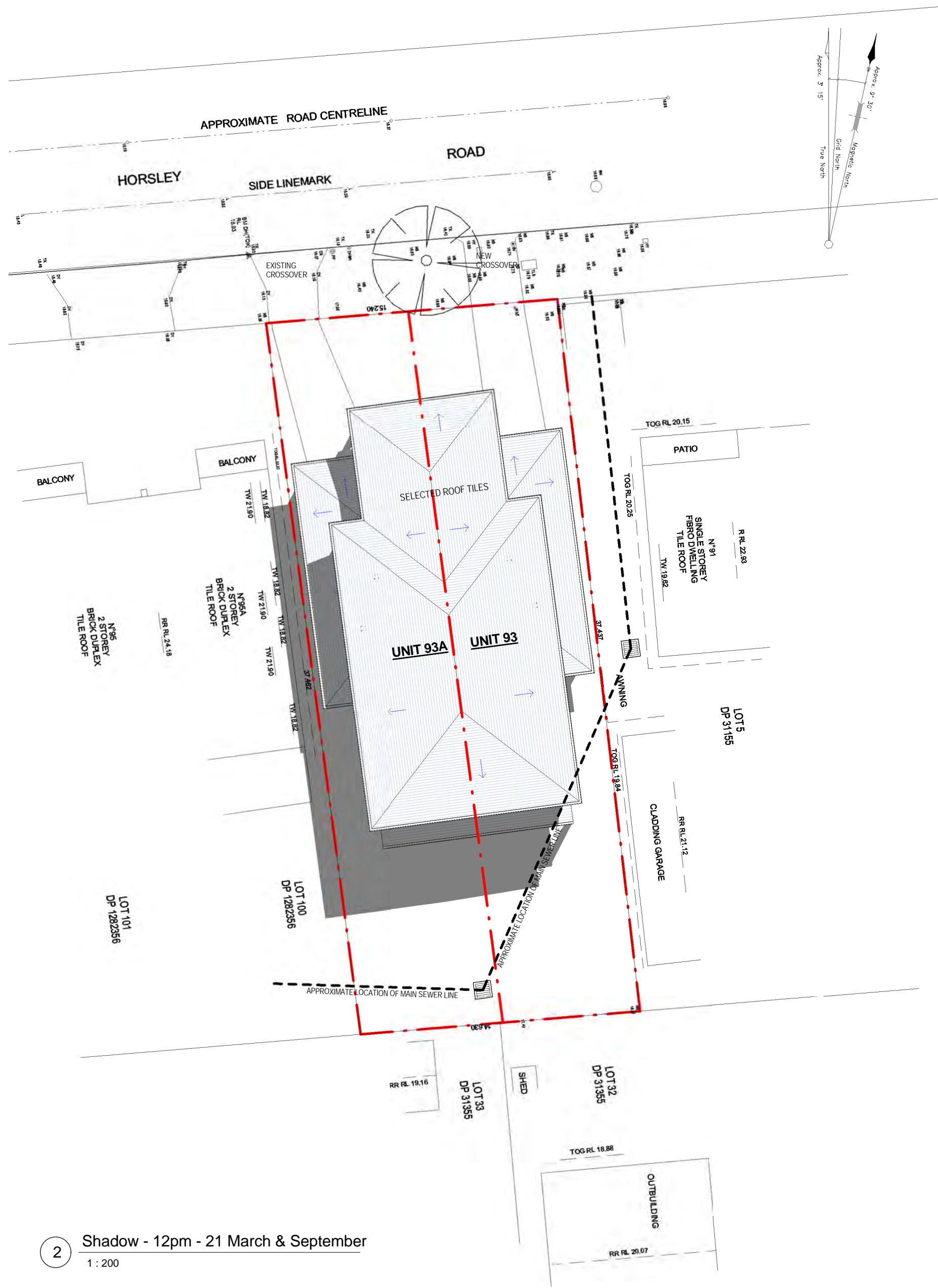
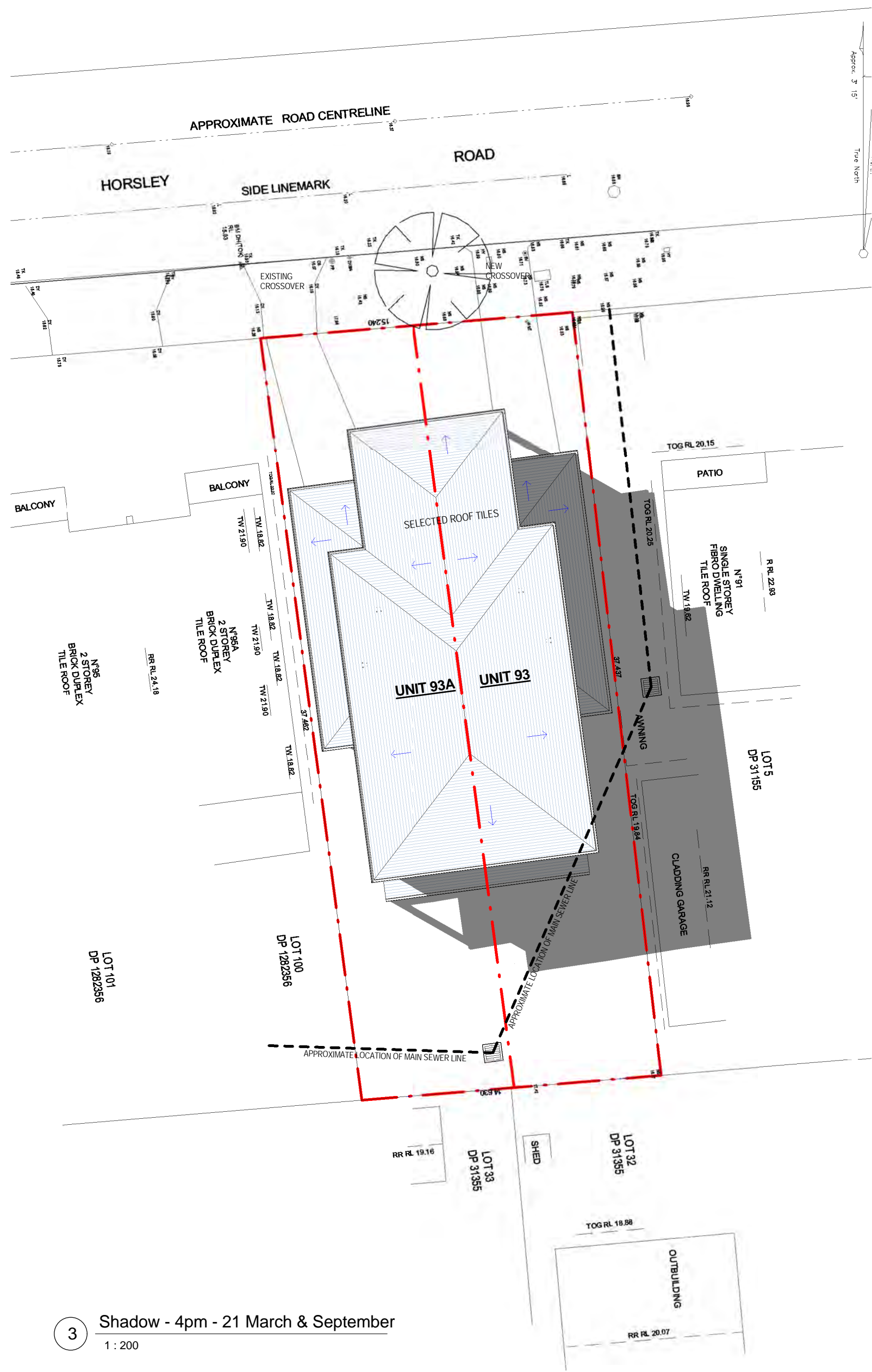
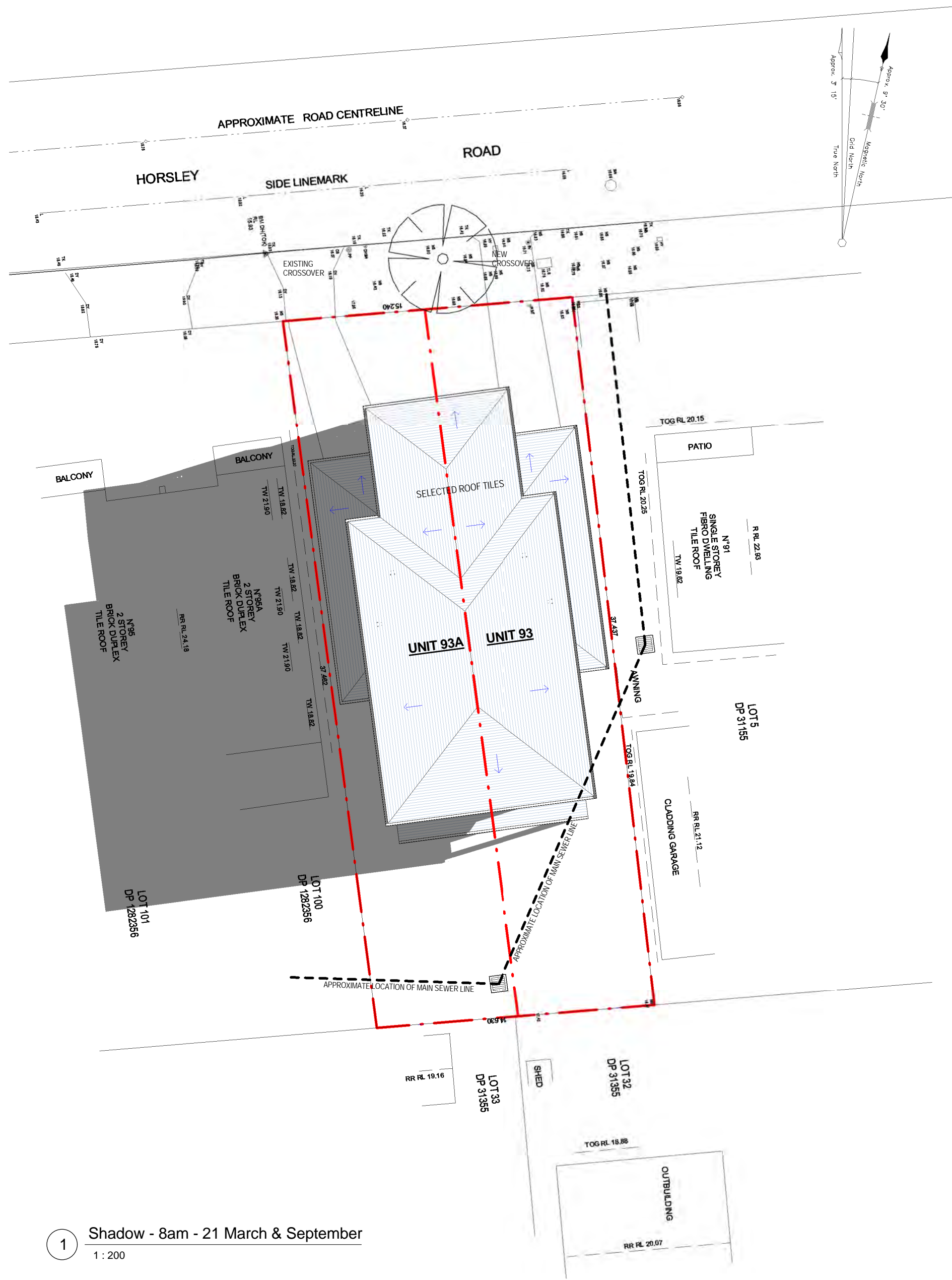


3 Shadow - 4pm - 21 June
1:200



2 Shadow - 12pm - 21 June
1:200

DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE



ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE



1 3D View 1 - Front

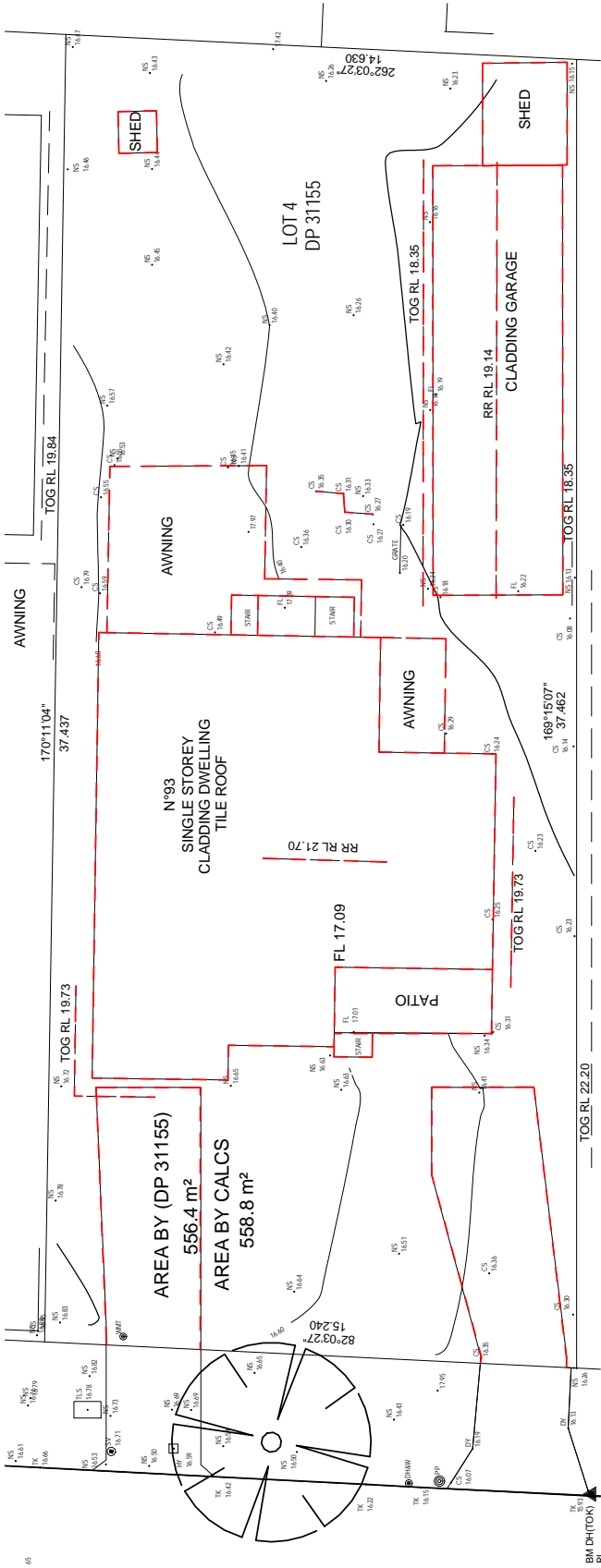


2 3D View 1 - Corner

ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE	ISSUE	AMENDMENT	DATE



1 Demolish Plan
1 : 200



LEGEND:

 DEMOLISHING WORK

Demolish Plan	Project: ATTACHED 2 STOREY DUAL OCCUPANCY WITH TORRENS SUBDIVISION ON 93 HORSLEY ROAD PANANIA; NSW 2213; LOT 4 DP 31155	Drawing number	A14	Plot Date 27/03/2025 9:04:57 AM
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Solar Access Study - Living Room 1 - Unit 93



1 Unit 93 Living 1 Solar Access - 8am



2 Unit 93 Living 1 Solar Access - 9am

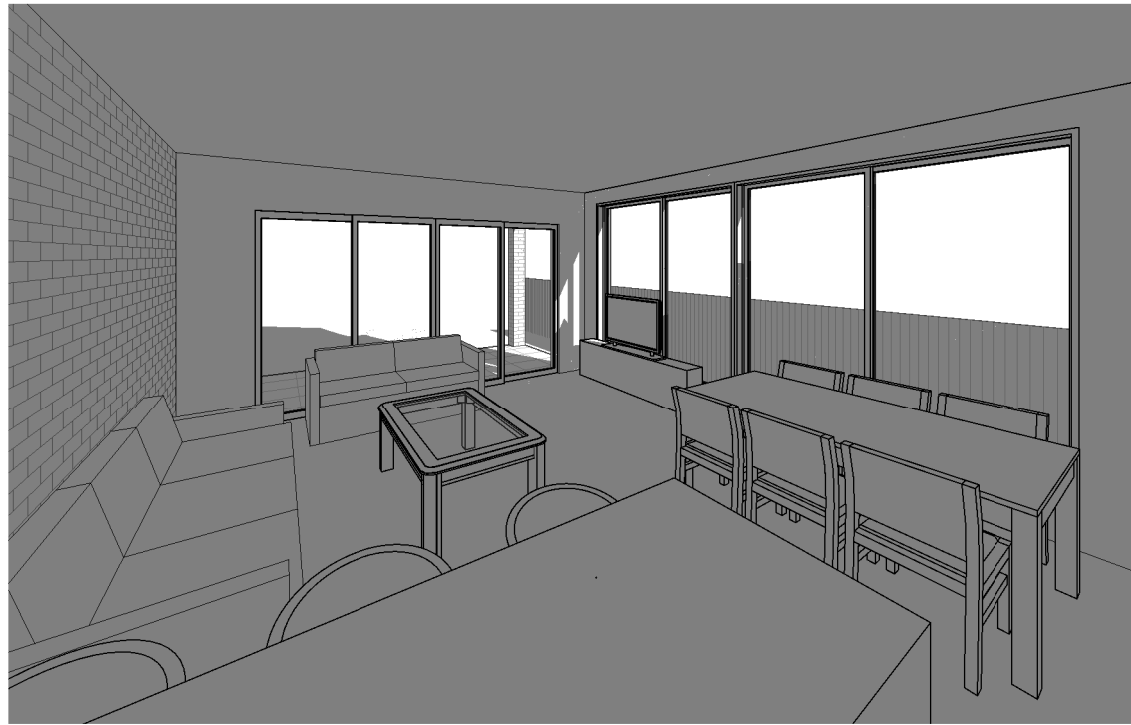


3 Unit 93 Living 1 Solar Access - 10am

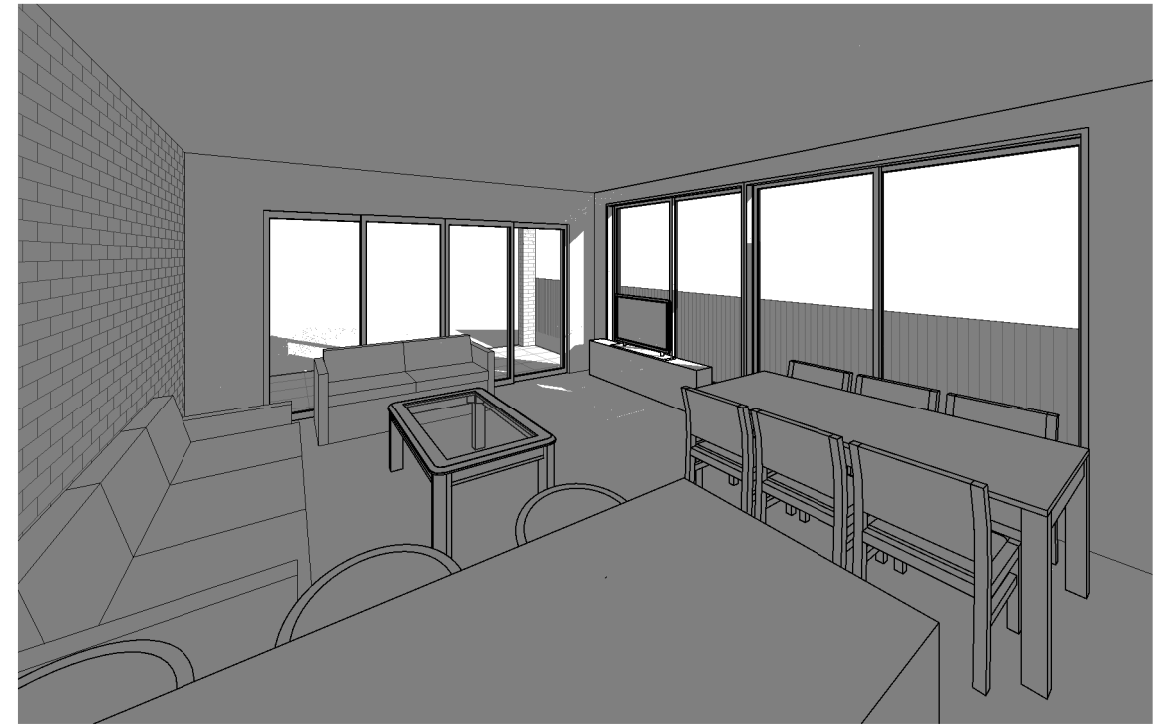


4 Unit 93 Living 1 Solar Access - 11am

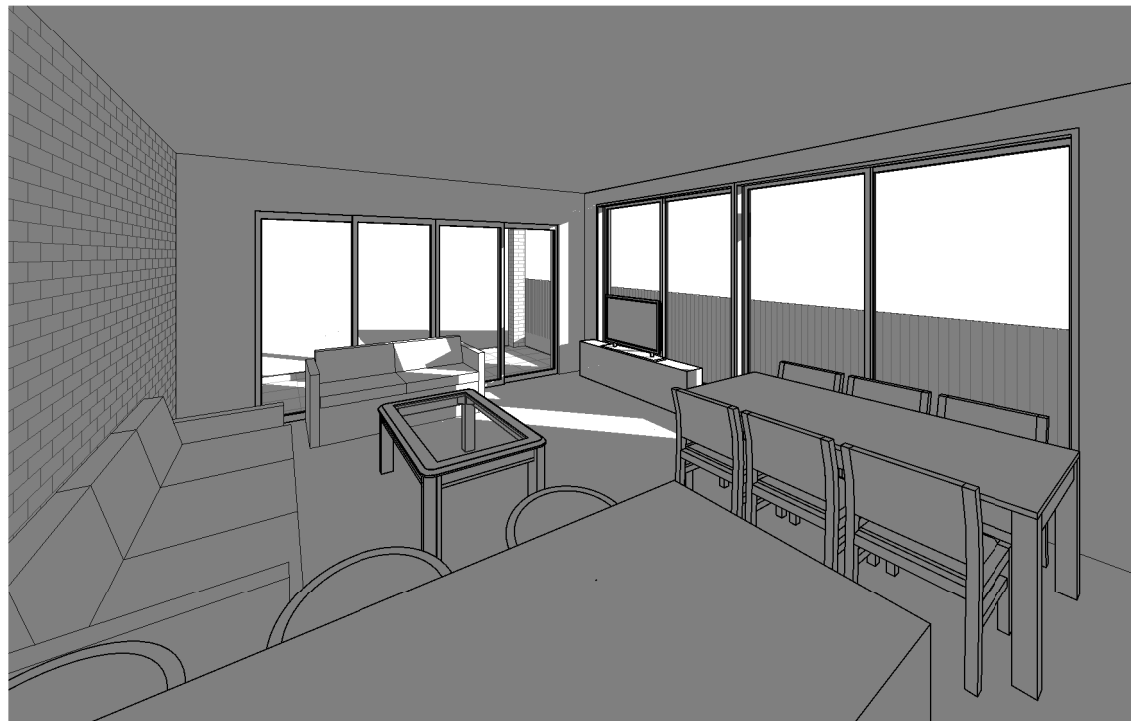
Solar Access Study - Living Room 1 - Unit 93A



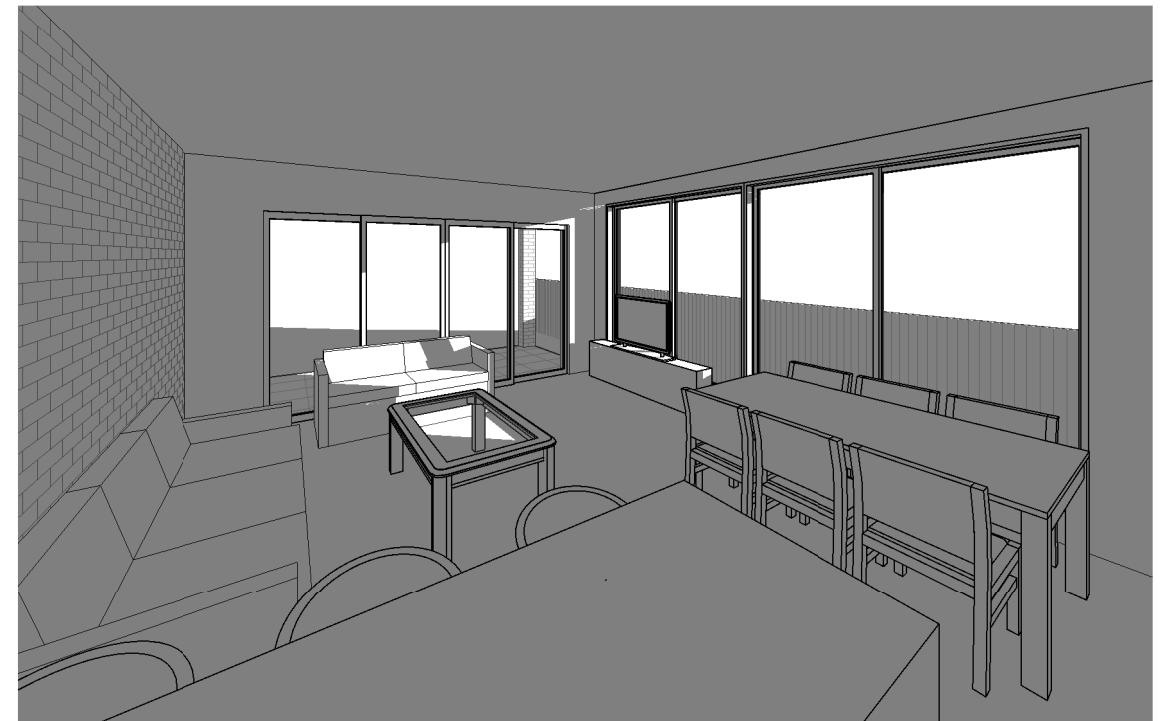
1 Unit 93A Living 1 Solar Access - 2pm



2 Unit 93A Living 1 Solar Access - 3pm



3 Unit 93A Living 1 Solar Access - 4pm



4 Unit 93A Living 1 Solar Access - 5pm

Solar Access Study - Living Room 2 - Unit 93A



1

Unit 93A Living 2 Solar Access - 12pm



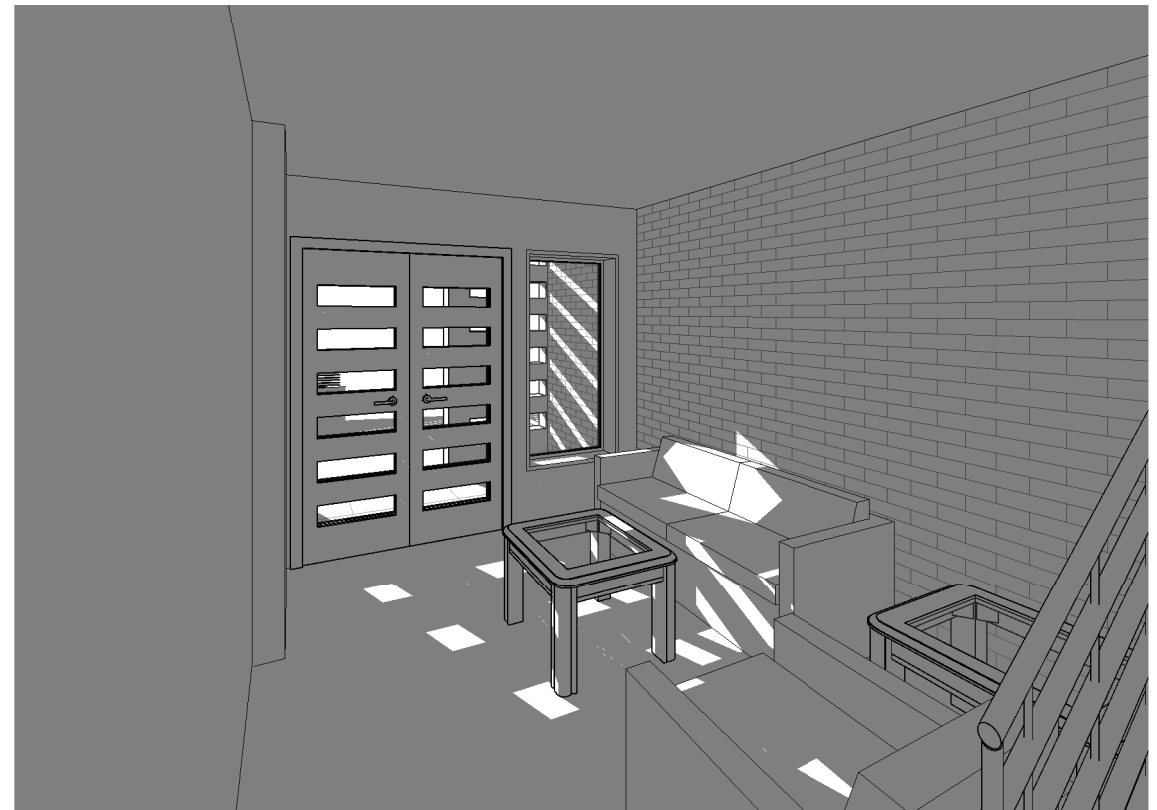
2

Unit 93A Living 2 Solar Access - 1pm



3

Unit 93A Living 2 Solar Access - 2pm



4

Unit 93A Living 2 Solar Access - 3pm